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Property Intelligence Report

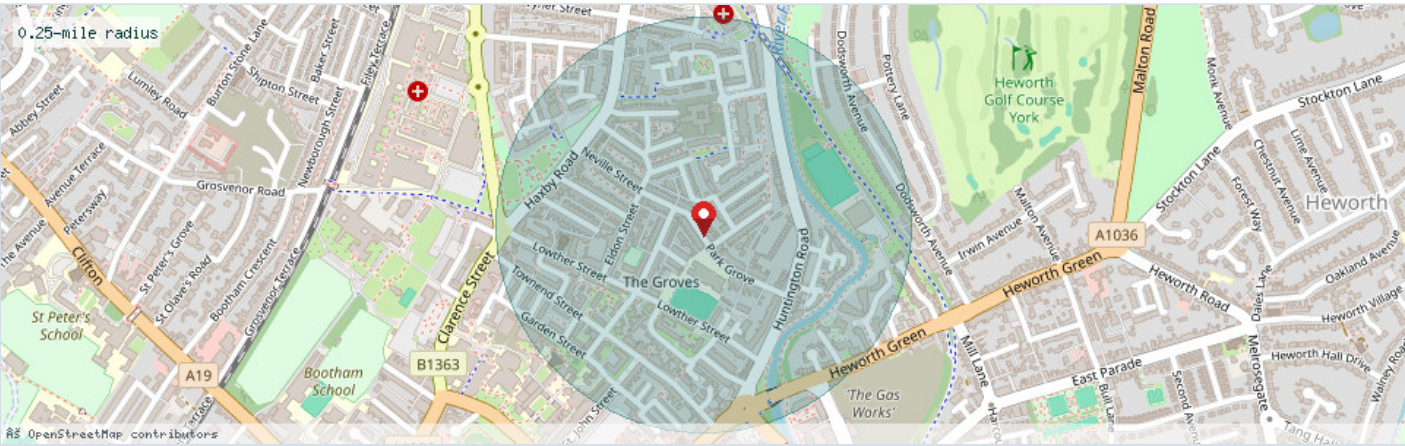
Sold prices, EPC, heritage, flood, ground risk, crime, schools, transport, shops, ownership, broadband, mobile, council tax and running costs — in one printable pack.



Scan for the static online report
<https://homebuyerreport.co.uk/reports/view/bc197d9f-f713-4726-aca6-bc38db8756d8>
Same figures as this PDF — frozen at generation. Ideal for brochures and For Sale boards.

SUBJECT ADDRESS	68 Park Grove, YO31 8LL
POSTCODE	YO31 8LL
PROPERTY TYPE	Mid-terrace house
REPORT ID	019fd592-c032-7011-9424-21cfe1dd2e94
GENERATED	06 September 2026 at 11:51
LOCAL AUTHORITY	York

Property location map



Subject property pin with indicative 0.25-mile radius. © OpenStreetMap contributors.

LAST SOLD PRICE £315,000 19 Dec 2025	COUNCIL TAX BAND C City Of York	EPC RATING D Potential B	FLOOD RISK High Worst of river/sea & surface
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Section 1 — HM Land Registry Sales & Valuation Analytics

Registered residential transactions from HM Land Registry Price Paid Data (England & Wales, from 1995).

Historical sales — target property

TRANSACTIONS	AVERAGE	FIRST RECORDED	LATEST SALE
5	£130,080	08 Nov 1996	£315,000

DATE	TYPE	TENURE	PRICE	ADDRESS
08 Nov 1996	Terraced	Freehold	£45,500	68 PARK GROVE
08 May 1998	Terraced	Freehold	£59,950	68 PARK GROVE
25 May 2001	Terraced	Freehold	£90,000	68 PARK GROVE
22 Aug 2003	Terraced	Freehold	£139,950	68 PARK GROVE
19 Dec 2025	Terraced	Freehold	£315,000	68 PARK GROVE

0.25-mile radius comparables (50 closest)

ADDRESS	DIST.	TYPE	TENURE	PRICE	DATE
68 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£315,000	19 Dec 2025
24 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£430,000	31 Mar 2025
35 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£395,000	18 Dec 2024
12 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£765,000	29 Nov 2024
11 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£600,000	30 Aug 2024
1 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£500,000	08 May 2024
24 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£232,500	01 Mar 2024
40 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£380,000	11 Oct 2023
70 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£280,000	07 Jul 2023
17 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£860,000	31 Mar 2022
25 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£310,000	30 Jun 2021
45 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£435,000	24 Jun 2021
3 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£595,000	11 Feb 2021
35 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£385,000	06 Nov 2020
19 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£785,000	06 Nov 2019
74 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£295,000	01 Aug 2019
7 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£412,500	08 Feb 2019
41 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£410,000	04 Oct 2018
30 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£290,000	24 Aug 2018
29 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£291,500	25 May 2018
54 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£270,000	11 Jul 2017
12 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£676,000	31 May 2017
34 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£270,000	31 Mar 2017
9 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£408,000	09 Dec 2016
45 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£325,000	25 Nov 2016
35 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£320,000	01 Nov 2016
37 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£331,400	23 Aug 2016
52 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£330,000	05 Feb 2016
21 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£603,400	03 Feb 2016
42 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£232,000	18 Sep 2015

ADDRESS	DIST.	TYPE	TENURE	PRICE	DATE
8 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£570,000	14 Aug 2015
12 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£335,000	23 May 2013
43 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£241,000	12 Mar 2013
18 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£232,000	17 Dec 2012
38 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£192,000	09 Nov 2012
34 PARK GROVE YO31 8LG	0.00	Terraced	Freehold	£200,000	28 Sep 2012
35 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£216,500	31 Aug 2012
74 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£169,950	10 Mar 2011
54 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£187,000	24 Feb 2011
49 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£173,000	17 Jun 2010
29 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£210,000	27 Mar 2009
60 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£245,000	25 Sep 2006
62 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£185,000	15 Aug 2006
45 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£248,000	04 Aug 2006
29 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£184,950	30 Jun 2006
43 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£198,000	01 Jul 2004
52 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£187,500	08 Apr 2004
51 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£139,445	30 Jan 2004
68 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£139,950	22 Aug 2003
41 PARK GROVE YO31 8LL	0.00	Terraced	Freehold	£173,000	27 Jun 2003

Maximum 50 closest properties, sorted by distance (miles) ascending.

Area market summary

MEDIAN SOLD PRICE	DETACHED AVG	SEMI-DETACHED AVG	TERRACED AVG	FLAT AVG
£150,000	£200,759	£169,650	£184,764	£141,286

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Section 2 — EPC Energy Efficiency Breakdown

Certificate 0859-2837-7681-9723-8915 · Lodged 21 Sep 2017 · 82 m²

View Official GOV.UK EPC Certificate

Opens the MHCLG Energy Performance Certificate register for this property

Energy rating scale (A-G)

Official EPC bands as shown on GOV.UK certificates. Arrow badges mark this property’s current and potential ratings.

SCORE	ENERGY RATING	CURRENT	POTENTIAL
92+	A	—	—
81-91	B	—	86 B
69-80	C	—	—
55-68	D	63 D	—
39-54	E	—	—
21-38	F	—	—
1-20	G	—	—

CURRENT ENERGY RATING		POTENTIAL ENERGY RATING	
D · SAP 63		B · SAP 86	
ENERGY USE NOW	POTENTIAL USE	PRIMARY HEATING	EST. ANNUAL ENERGY COST
275 kWh/m²/yr	99 kWh/m²/yr	Boiler and radiators, mains gas	£884

Walls: Solid brick, as built, no insulation (assumed) · Roof: Pitched, 100 mm loft insulation

Recommended energy improvements

#	IMPROVEMENT	INDICATIVE COST	TYPICAL ANNUAL SAVING
1	Solid wall insulation	£4,000 - £14,000	£168
2	Recommended improvement (D)	£80 - £120	£21
3	Condensing boiler	£15	£14
4	Draught proofing	£4,000 - £6,000	£33
5	Floor insulation	£3,300 - £6,500	£76
6	Solar water heating	£5,000 - £8,000	£273

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Section 3 — Heritage & Listed Buildings

Historic England National Heritage List entries within about 500 metres of the property pin.

LISTED BUILDINGS NEARBY	GRADE I	GRADE II*	GRADE II
38	0	1	37

GRADE	NAME	LIST ENTRY	DISTANCE
II	PARK GROVE SCHOOL	1257012	92 m
II	GROVE TERRACE	1257548	159 m
II	WALLS RAILINGS AND GATES TO NUMBERS 27-49 (ODD) (GROVE TERRACE)	1257549	191 m
II	ST MARYS HOUSE	1257552	212 m
II	GRANGE HOUSE	1257550	227 m
II	BOUNDARY WALL AND RAILINGS APPROXIMATELY 15 METRES EAST OF GRANGE HOUSE	1257551	236 m
II	Church of St Thomas	1257401	267 m
II	29 AND 31, PENLEYS GROVE STREET	1256899	270 m

Showing the closest entries only; more may exist within the radius.

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Section 4 — Council Tax, Local Authority & Running Costs

VOA council tax band

LOCAL AUTHORITY	City Of York
COUNCIL TAX BAND	Band C
MATCHED ADDRESS	23 PARK GROVE, YORK, YO31 8LL

Annual & monthly cost comparison

FULL ANNUAL & MONTHLY COST £2,033 / yr or £169 / mo Standard charge · Band C · 2026	25% SINGLE OCCUPANCY DISCOUNTED RATE £1,525 / yr or £127 / mo 25% SINGLE OCCUPANCY DISCOUNT Saves £508 / year vs full rate
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Estimated total monthly running costs

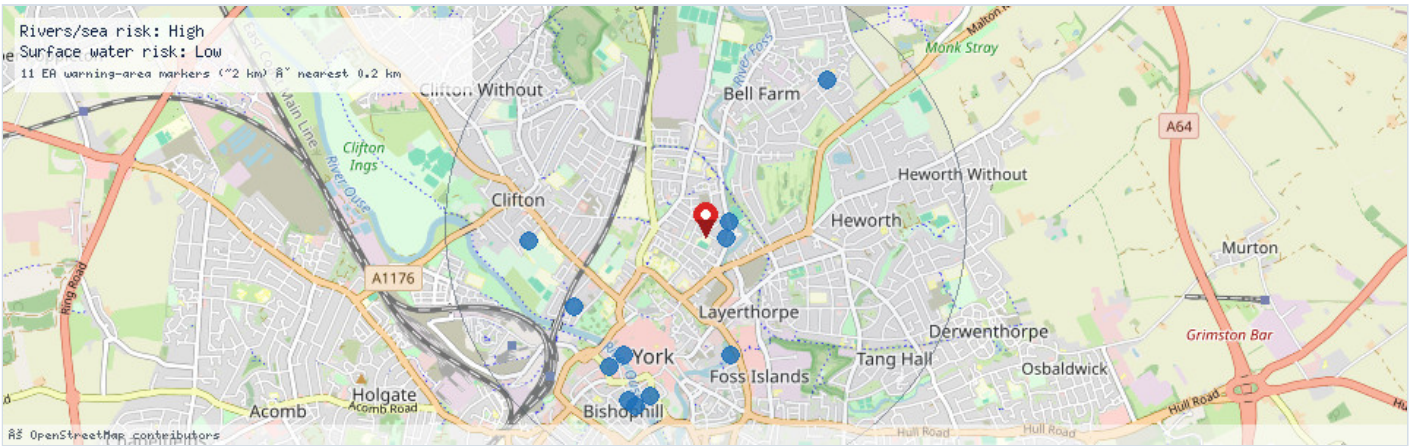
Council tax drops by 25% for single occupants. Utility and insurance figures reflect base household consumption estimates and are not reduced for single occupancy.

COST ITEM	STANDARD	SINGLE OCCUPANT	NOTES
Council tax	£169	£127	VOA band × local Band D
Energy bills (gas + electricity)		£74	From EPC cost fields
Water & sewage		£40	National average estimate
Building / home insurance		£25	Band-adjusted estimate
Estimated monthly total	£308	£266	Indicative only

Confirm your official council tax bill with the local authority. Parish precepts may differ from Band D averages.

Section 5 — Environmental Risk

Flood risk map



Property pin with ~2 km search radius. Blue dots = Environment Agency flood warning area locations nearby (centroids, not flood extents). Risk levels in the legend are derived from those areas and live alerts — not a substitute for the official GOV.UK long-term flood risk map. © OpenStreetMap contributors.

Environment Agency flood risk

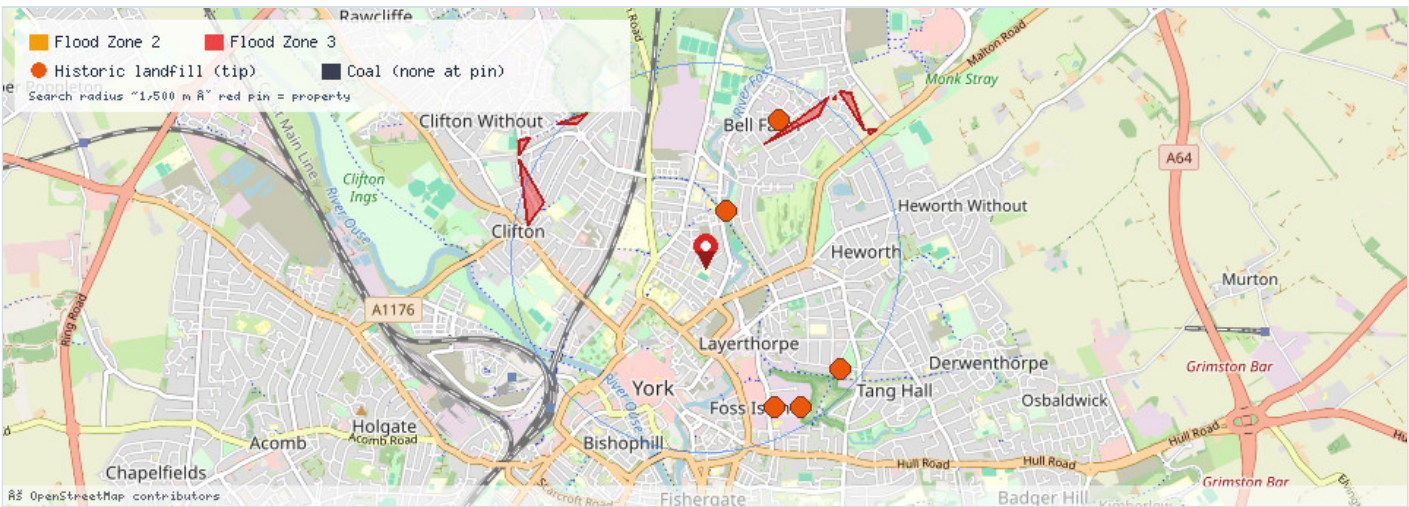
RIVERS & SEA	SURFACE WATER	LIVE ALERTS / AREAS
High Rivers and sea: flood warning or flood warning area very close to the property.	Low Surface water: no nearby flood warning areas or live alerts identified.	0 / 12 alerts / nearby zones

Indicative risk derived from EA flood warning areas and live alerts near the postcode. Confirm on GOV.UK Check long term flood risk for planning decisions.

Ground, mining & environment

Planning flood zones, historic landfill sites and coal mining referral areas near the property pin (~1,500 m).

Planning flood zones come from the Environment Agency Flood Map for Planning and are separate from the flood-warning picture earlier in this section.



Amber = Flood Zone 2 · Red = Flood Zone 3 (Environment Agency Flood Map for Planning extents). Orange dots = historic landfill sites (tips). Grey wash = coal mining reporting / high-risk referral area when the pin sits inside one. Blue ring = search radius (~1,500 m). Red pin = property. ©

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PLANNING FLOOD ZONE Zone 1 Low risk	COAL MINING REFERRAL No Not in a reporting area	HISTORIC LANDFILLS NEARBY 5 within search radius
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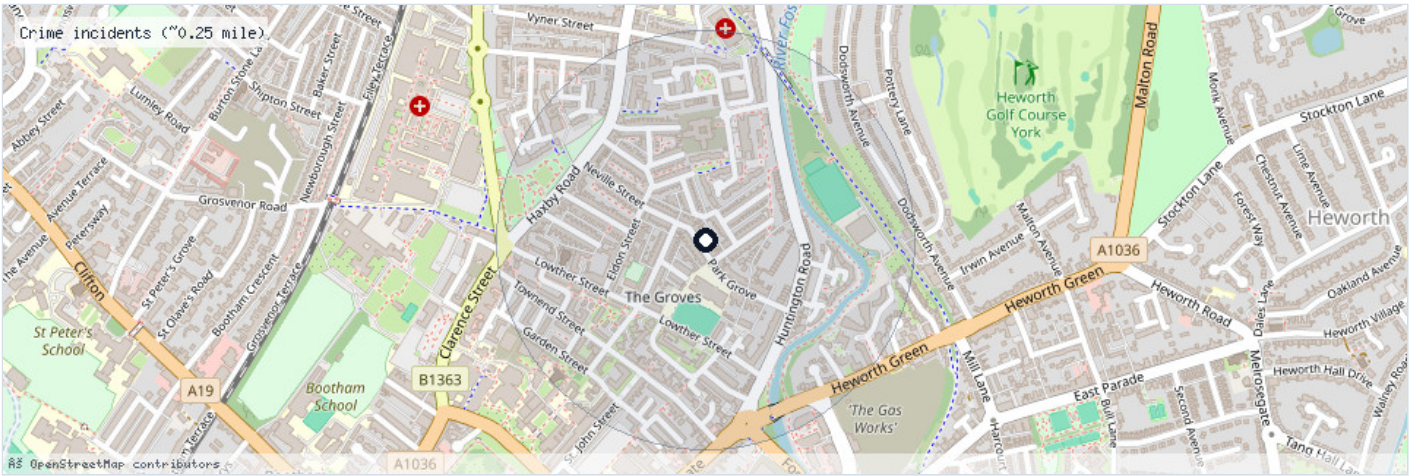
SITE	DISTANCE	FIRST INPUT	LAST INPUT
Huntington Road	389 m	1935	1938
Wrays Brickyard	1.2 km	1900	29 Mar 1993
Bartrams Tip	1.3 km	1958	1973
Tang Hall and Fifth Ave	1.3 km	1928	1938
Thomas Street and St Nicholas Tip	1.4 km	—	16 Jan 1973

Contains Environment Agency and Mining Remediation Authority (Coal Authority) data licensed under the Open Government Licence v3.0. Flood-warning levels above remain separate from planning flood zones.

Section 6 — Neighbourhood Crime (12 months, ~0.25 mile)

Police.uk street-level crimes — coloured dots match the category breakdown below.

Crime map (latest month)



Dark pin = subject property. Coloured dots = street-level incidents in the latest Police.uk month within ~0.25 mile. © OpenStreetMap contributors.
Latest data month: 2026-07.

Contains public sector information from data.police.uk. OGL v3.0.

Section 7 — Local Amenities

Nearby schools, public transport and grocery stores for everyday life around the property.

Schools & Ofsted (~2.0 km)

SCHOOL	PHASE	OFSTED	DISTANCE
Park Grove Primary Academy	Primary	School remains Good	94 m
Haxby Road Primary Academy	Primary	School remains Good	453 m
St Wilfrid's Catholic Primary School - a Catholic Voluntary Academy	Primary	Good	467 m
Heworth Church of England Primary School	Primary	School remains Good	981 m
Tang Hall Primary Academy	Primary	Good	1 km
Clifton Green Primary School	Primary	Good	1.2 km
Burton Green Primary School	Primary	Standards maintained	1.4 km
Vale of York Academy	Secondary	Good	1.9 km

Closest schools shown; more may exist within the radius.

Contains DfE and Ofsted public sector information licensed under OGL v3.0

Transport & driving times (~5.0 km)

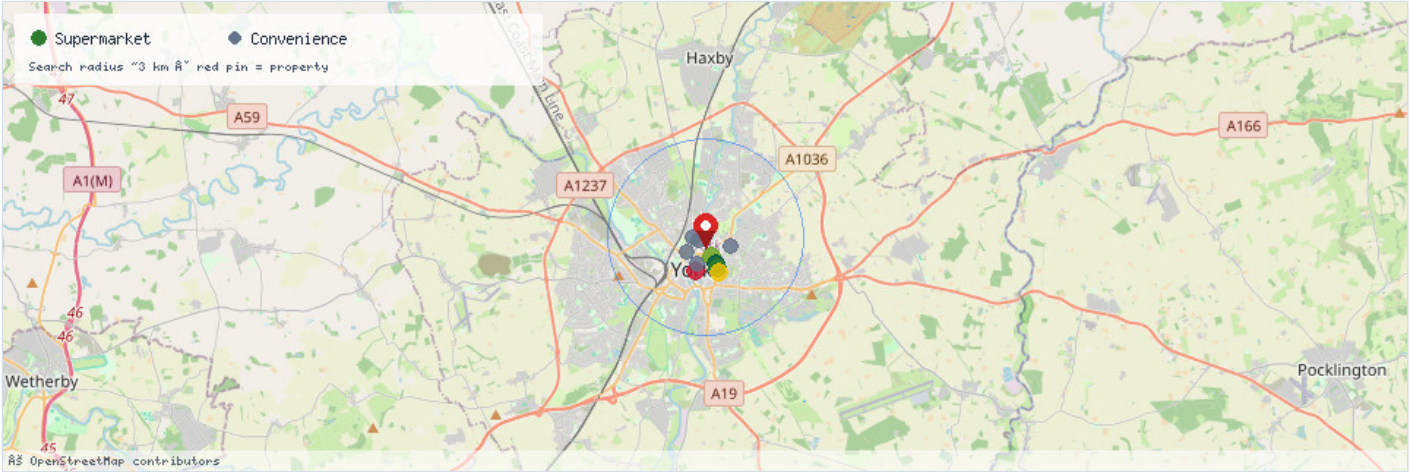
Walk and drive times are network estimates from straight-line distance (not routed journeys).

TYPE	STOP / STATION	DISTANCE	WALK	DRIVE
Rail	York Rail Station · York	1.6 km	27 min	7 min
Rail	Poppleton Rail Station · Poppleton	4.9 km	80 min	15 min
Bus	Grove Terrace Lane · The Groves	176 m	3 min	3 min
Bus	Grove Terrace Lane · The Groves	186 m	4 min	3 min
Bus	Park Grove School · The Groves	195 m	4 min	3 min
Bus	Willerby House · The Groves	195 m	4 min	3 min
Bus	Ramsay Close · Clifton	268 m	5 min	3 min

Contains public sector information licensed under the Open Government Licence v3.0. NaPTAN data from the Department for Transport.

Supermarket & retail (~3.0 km)

Walk and drive times are network estimates from straight-line distance (not routed journeys).



Green dots = supermarkets · grey dots = convenience stores within the search radius. Larger dots are supermarkets. Red pin = property. © OpenStreetMap contributors.

TYPE	FASCIA / STORE	POSTCODE	DISTANCE	WALK	DRIVE
Supermarket	Asda Supermarket · Asda York Layerthorpe Supermarket	YO31 7UZ	624 m	11 min	4 min
Supermarket	Morrisons · Morrisons Tang Hall York	YO31 7UL	868 m	15 min	5 min
Supermarket	The Food Warehouse · Iceland York Foss Island Food Warehouse	YO31 7UL	1 km	17 min	5 min
Supermarket	Marks and Spencer · M&S York	YO1 2NB	1.1 km	18 min	5 min
Supermarket	Lidl · Lidl James Street York	YO10 3DW	1.2 km	19 min	6 min
Convenience	Spar · Spar - Lowther Street	YO31 7NA	258 m	5 min	3 min
Convenience	The Co-operative Food · Co-op Clarence Street York	YO31 7WS	408 m	7 min	4 min
Convenience	Tesco Express · Tesco Gillygate York Express	YO30 7EA	720 m	12 min	4 min
Convenience	The Co-operative Food · Co-op Heworth	YO31 7YB	794 m	13 min	5 min
Convenience	Tesco Express · Tesco York Goodramgate Express	YO1 7LS	864 m	15 min	5 min

Contains Geolytix Retail Points data licensed under CC BY 4.0 & OpenStreetMap data under ODbL.

Section 8 — Title & Company Ownership

Title ownership from HM Land Registry OCOD / CCOD open data for this postcode. Not a full title register search — instruct a conveyancer for definitive ownership.

Overseas company ownership (OCOD)

No overseas company ownership titles were found for this postcode in the latest OCOD extract.

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UK company ownership (CCOD)

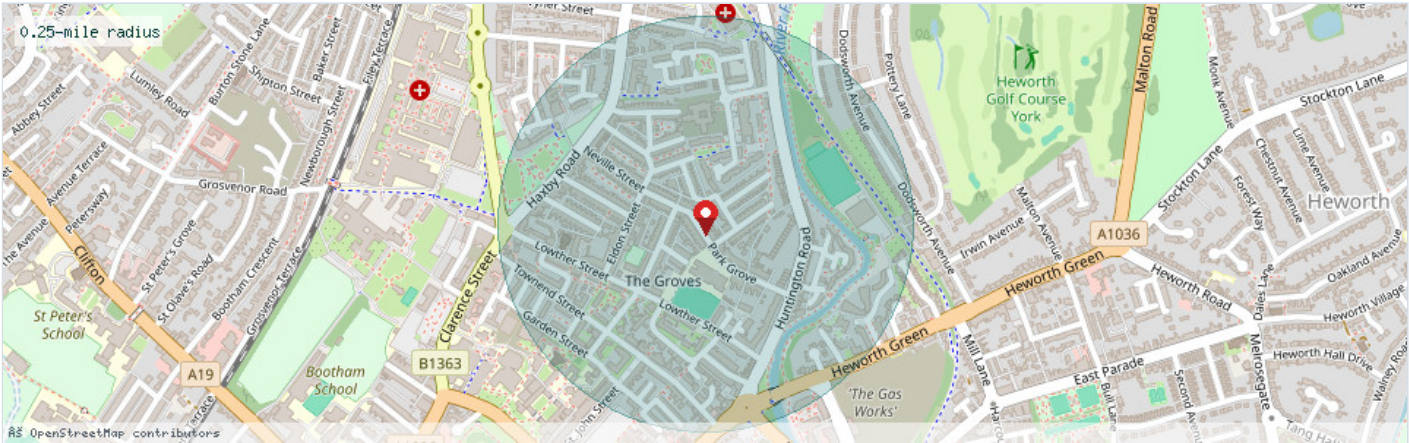
No exact house match — showing UK company-owned titles recorded against this postcode (5 total).

TITLE	TENURE	PROPERTY	PROPRIETOR(S)
NYK12662	Freehold	74 Park Grove, York (YO31 8LL)	BLUE DOOR OF YORK LIMITED (Co 05972233)
NYK17700	Freehold	72 Park Grove, York (YO31 8LL)	APV RESIDENTIAL LIMITED (Co 9988271)
NYK29563	Freehold	25 Park Grove, York (YO31 8LL)	REALM 47 INVESTMENTS LTD (Co 12010104)
NYK305171	Freehold	70 Park Grove, York (YO31 8LL)	ALPHA FAB LIMITED (Co 09470033)
NYK357819	Freehold	27 Park Grove, York (YO31 8LL)	MOORE BUILDING ENTERPRISES LIMITED (Co 03125009)

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Section 9 — Broadband & Mobile Connectivity

Ofcom predicted coverage for the postcode — not a live speed test or guarantee of service at the premises.



Coverage is predicted for the postcode area around the property pin. © OpenStreetMap contributors.

Fixed broadband (Ofcom)

MAX DOWNLOAD	MAX UPLOAD	MEDIAN DOWNLOAD	PREMISES IN POSTCODE
5500 Mbps	5500 Mbps	5500 Mbps	30

AVAILABILITY	STATUS	TYPICAL DOWNLOAD	PREMISES %
Superfast (30+ Mbps)	Yes	169 Mbps	100%
Ultrafast (300+ Mbps)	Yes	5500 Mbps	100%
Full fibre	Yes	100% gigabit premises	

Mobile coverage (4G / 5G & 2G)

NETWORK	4G / 5G (INDOOR & OUTDOOR)	2G
EE	Good in-home and outdoor	Variable in-home, good outdoor
Three	Good in-home and outdoor	Not published
O2	Good in-home and outdoor	Variable in-home, good outdoor
Vodafone	Good in-home and outdoor	Good in-home and outdoor

4G/5G scores are from Ofcom Mobile Checker (blended). 2G scores are from Ofcom Mobile 2G Coverage. Three has no 2G data in this dataset. Same 0-4 outdoor/in-home scale for both.

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Police UK — Contains public sector information from data.police.uk. OGL v3.0.

DfE / Ofsted — Get Information About Schools and Ofsted inspection outcomes. OGL v3.0.

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